



COMMUNITY DEVELOPMENT  
PLANNING DIVISION  
301 W. CHESTNUT  
planning@rogersar.gov  
(479) 621-1186

**MEETING DATE  
OCTOBER 6, 2020**

TO: PLANNING COMMISSION  
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT  
LARGE-SCALE DEVELOPMENT PLANS – TRU HOTEL**

STAFF: ELIZABETH JOHNSON, PLANNER III  
KRISTIFIER PAXTON, DEVELOPMENT COMPLIANCE MANAGER

**REQUEST DETAILS**

PROJECT NAME:	Tru Hotel
ADDRESS/LOCATION:	310 S. 45 <sup>th</sup> Street
PROPOSED USE:	Hotel
CURRENT ZONING:	C-2 (Highway Commercial) and A-1 (Agricultural)
CGM GROWTH DESIGNATION:	Commerce Corridor
APPLICANT/REPRESENTATIVE:	Swope Engineering / Phil Swope
PROJECT OWNER/DEVELOPER:	Vipul Patel / Maruti Hotels
PROPERTY OWNER:	Newgen Hotels LLC
NATURE OF REQUEST:	Approval of Large-Scale Development Plans
AUTHORITY:	Chapter 14, Article III, Rogers Code of Ordinances

**SUMMARY**

This request is to allow the construction of a 43,653.56-SF hotel and paved parking lot on 1.75± acres. The proposed development plans meet all City requirements (except for requested waivers) and have been forwarded to the Planning Commission for approval per Sec. 14-230(b). See STAFF REVIEW for additional findings.

Community Development recommends approval of this request subject to the following actions:

1. Consider **VARIANCE** from Sec. 14-709(I) from the requirement to provide three loading spaces.
2. Approve **WAIVER** of Sec. 14-608 from requiring the upgrade to a 5-ft greenspace along Poplar Street.

## STAFF REVIEW

### ENGINEERING REVIEW

1. ACCESS MANAGEMENT:  
The applicant's project meets access management standards.
2. STORMWATER MANAGEMENT:  
The applicant proposes a **FEE-IN-LIEU** of detention in the amount of \$10,525.60. The applicant's project is along a primary channel and this option is available by-right.
3. WATER QUALITY:  
The applicant proposes storm snouts for Stormwater quality and include an Operations & Maintenance Manual in the Drainage Report.
4. FLOODPLAIN MANAGEMENT:  
No portion of the project is located within a Special Flood Hazard Area (SFHA). The project is located in Zone "X" (unshaded).
5. MASTER STREET PLAN IMPROVEMENTS:
  - a) Street Pavement and Condition:
    - 1) Poplar Street is in good physical condition. However, Poplar Street is in substandard condition compared to the Master Street Plan, because the greenspace is 3.11 feet. The applicant requests a **WAIVER** from Sec. 14-608 requiring a 5-ft greenspace.
  - b) Connectivity Standards:  
Connectivity standards do not apply to this location, however, site circulation access easements are provided and stub out to the west. The applicant has agreed to provide an access easement to the property line at the stub-out in the northwest corner that will allow access back to the street.
  - c) Streetscape:
    - i) Right-of-Way:
      - 1) The right-of-way width for Poplar Street is a 50ft ROW Minor Street.
      - 2) The right-of-way width for S 45<sup>th</sup> Street is a 70ft ROW Collector Street.
    - ii) Sidewalks & Sidepaths:  
The applicant proposes the appropriate sidepath along S 45<sup>th</sup> Street. The Poplar Street sidewalk is existing.
  - d) Trails:  
No additional trails other than the sidepath are proposed nor required.
  - e) Streetlights:  
The applicant proposes appropriate street lights.
  - f) Street Trees:  
The applicant proposes street trees along S 45<sup>th</sup> Street and Poplar Street.
6. RECOMMENDATIONS:
7. Approve **WAIVER** of Sec. 14-608 from requiring the upgrade to a 5-ft greenspace along Poplar Street. This will maintain a consistent sidewalk as existing along this strip.

PLANNING REVIEW

1. LAND USE:

a) Use Definition:

“Hotels, Motels, and Retreats” is defined as “establishments offering commercial lodging on a less than monthly basis. Hotels, Motels, and Retreats may include eating, drinking, and banquet services intended for the convenience of guests if the eating, drinking, and banquet services are attendant to the commercial lodging.” (Sec. 14-695(b)(3)(qq)).

b) Zoning Compliance:

The proposed project is in compliance with C-2 and A-1 zoning regulations.

c) CGM Compliance:

The proposed project aligns with the purpose, character, and goals of the Commerce Corridor Growth Designation.

2. DEVELOPMENT STANDARDS:

The proposed development plans conform to all development standards required by Sec. 14-709 and Article III with the exception of any requested waivers and/or variances.

a) Building Disposition:

All setback and height requirements have been met.

b) Building Design:

N/A

c) Parking & Loading:

The applicant requests a **VARIANCE** from Sec. 14-709(l) from the requirement to provide three loading spaces. All other vehicle and bicycle parking requirements have been met.

d) Screening & Transitions:

All screening requirements have been met.

e) Landscaping:

All landscaping requirements have been met.

3. RECOMMENDATIONS:

a) Approve Large-Scale Development Plans subject to the following actions:

- i. Consider **VARIANCE** from Sec. 14-709(l) from the requirement to provide three loading spaces. The applicant states that there will be no large vehicles carrying shipments on crates or requiring a dock at their hotel.

OTHER REVIEWS

The proposed development plans have been reviewed by the City of Rogers Risk Reduction Division and Rogers Water Utilities (see Tab 2 for RWU conditional approval letter). All projects are made available for review by franchise utilities, Benton County 911 Administration, and other affected agencies per Sec. 14-227.

**DIRECTOR'S COMMENTS**

1. Agree with recommendations.



JOHN C. McCURDY, Director  
Community Development

## **SUGGESTED MOTIONS**

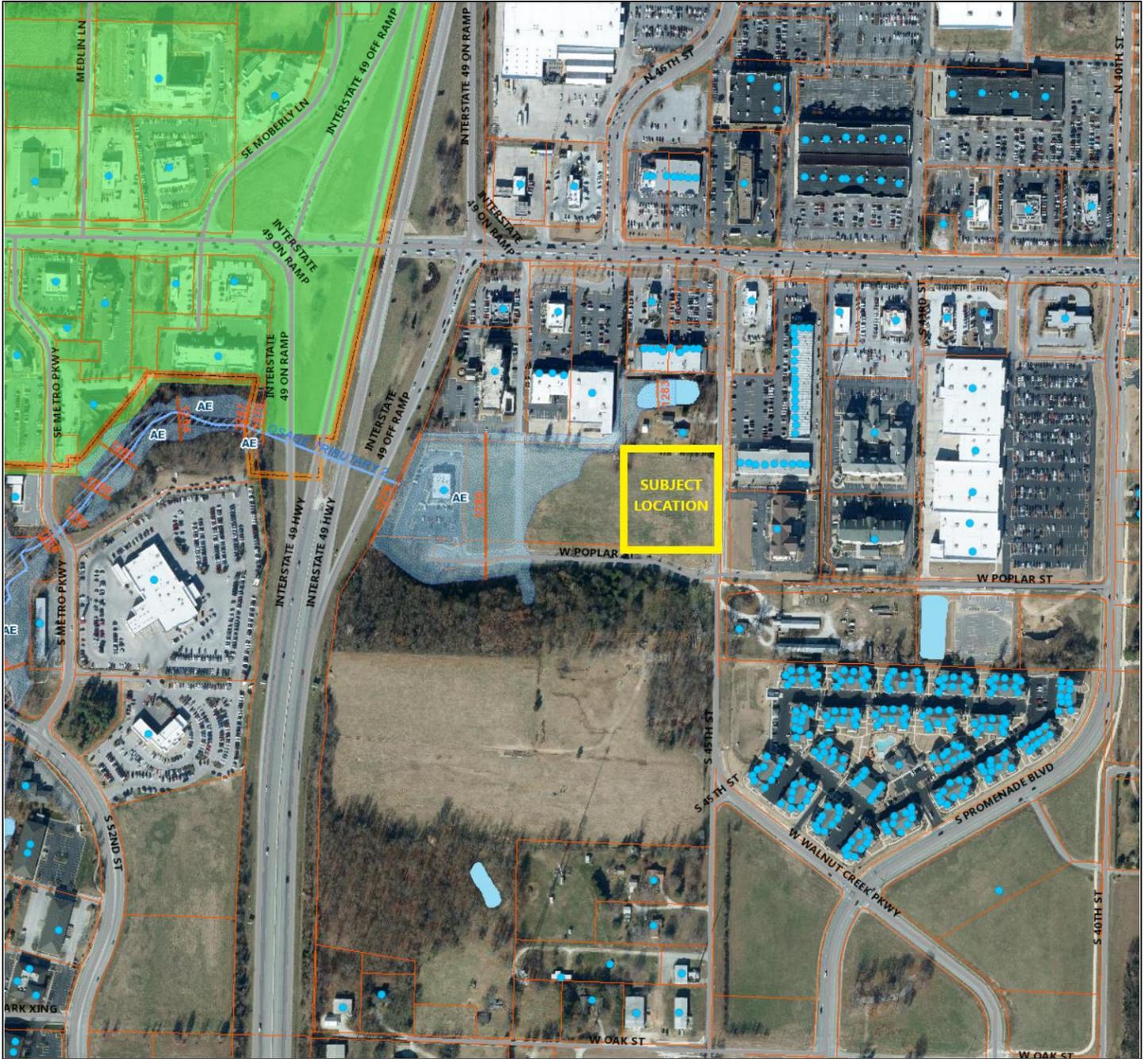
1. IF APPROVING:  
Move to approve the request as presented.
2. IF APPROVING SUBJECT TO OTHER ACTIONS:  
Move to approve the request subject to [conditions, contingencies, waivers/variances].
3. IF DENYING:  
Move to deny the request as presented.
4. IF TABLING:  
Move to table the request [indefinite or date certain].

## **TABS**

1. Vicinity maps (aerial, zoning, CGM)
2. RWU conditional approval letter
3. Waiver and/or variance request letter
4. Large-Scale Development Plans (cover, site, utility, landscape)

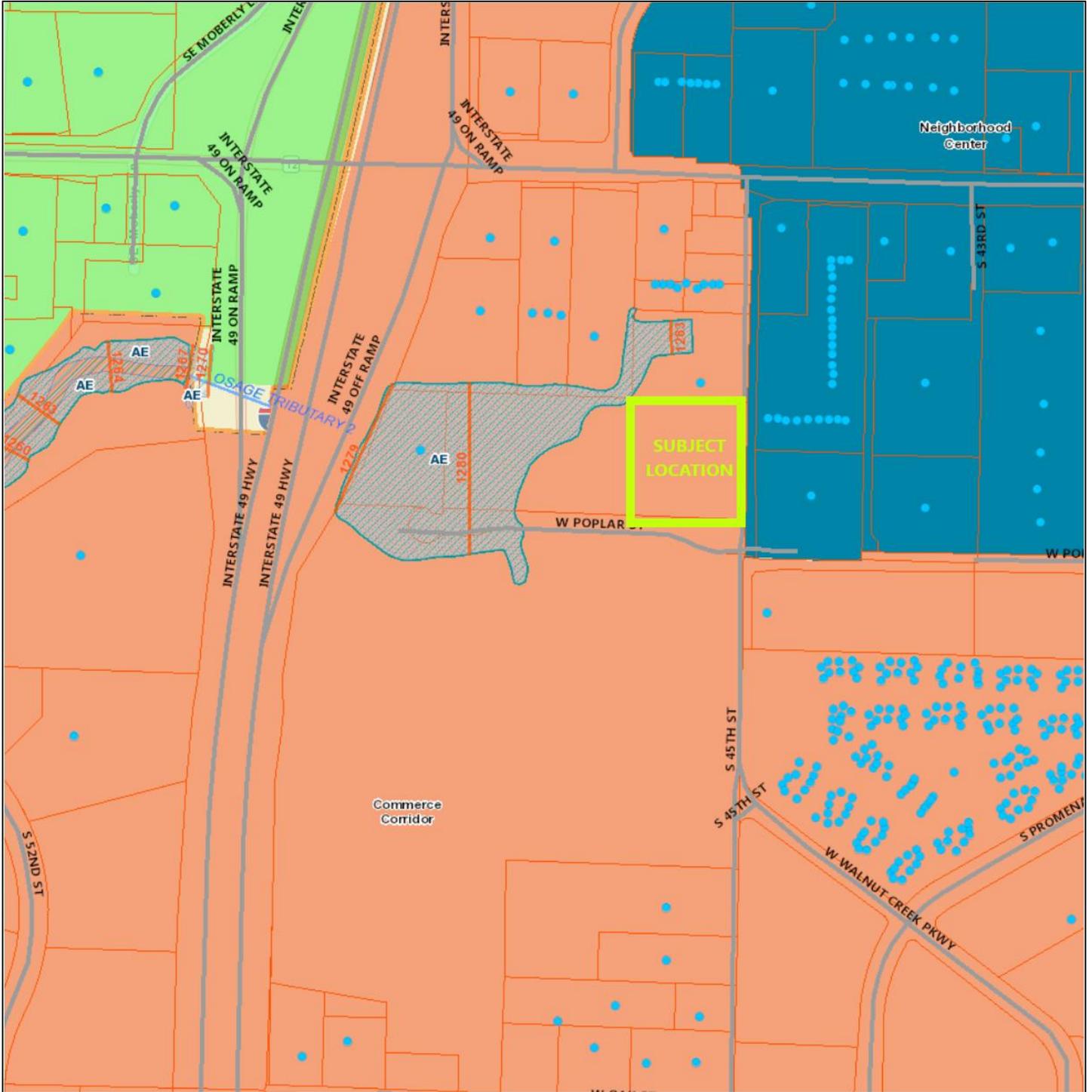
TAB 1

AERIAL VICINITY MAP



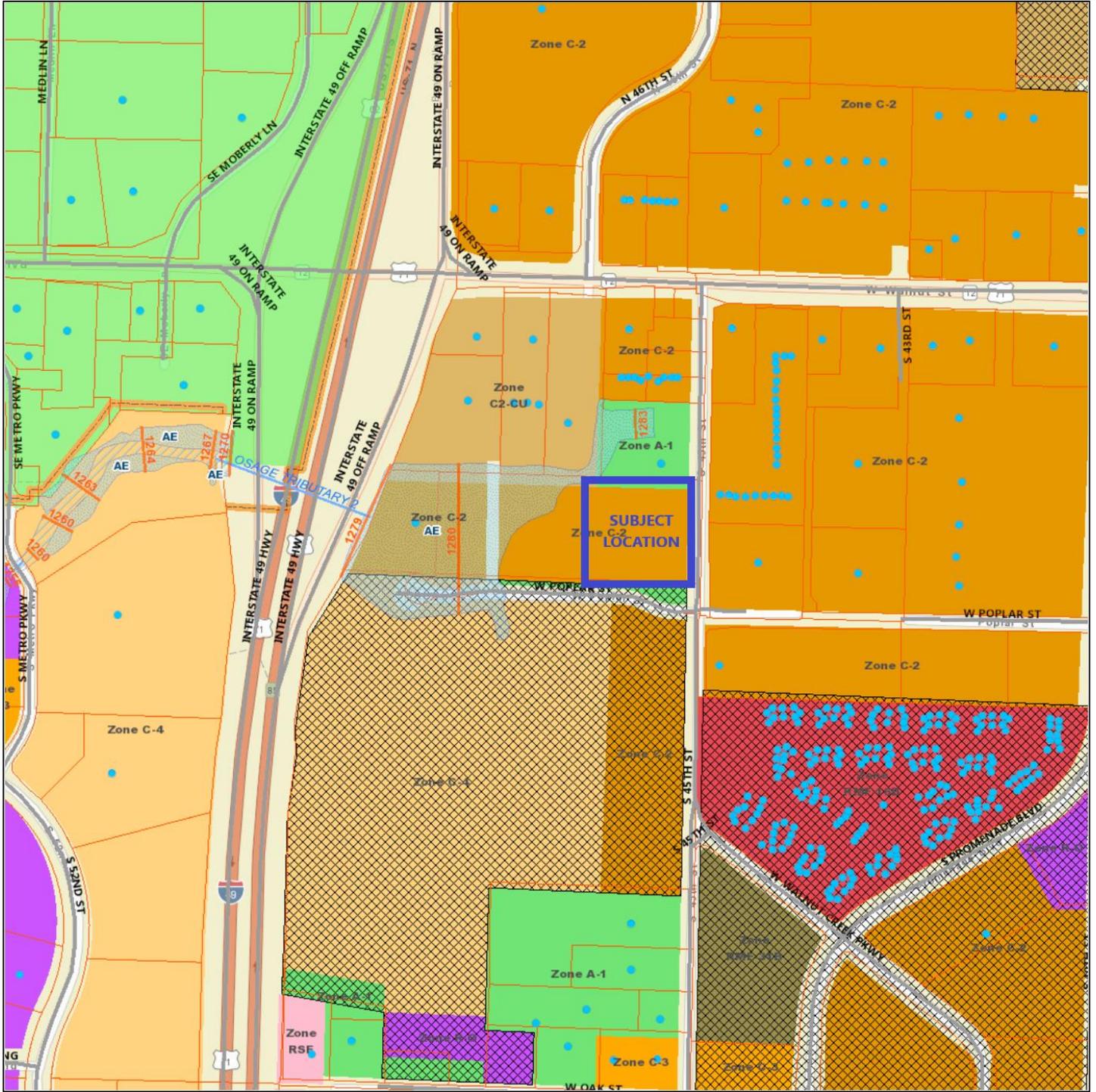
TAB 2

CGM VICINITY MAP



TAB 3

ZONING VICINITY MAP





September 4, 2020

Mr. Phillip Swope, PE  
Swope Engineering  
#7 Halsted Circle, Suite 118  
Rogers, AR 72756

Re: Conditional Approval of Civil Plans  
Tru Hotel

Dear Mr. Swope:

We have reviewed the revised plans that were received for the referenced project and are approving them with the following conditions:

1. To connect the 12" water main to the off-site location on the east side of South 45<sup>th</sup> Street remove the plug at the valve and attach a 90° bend at the end of both mains.
2. The proposed 6" sewer service line invert elevation into the existing manhole appears to be the elevation for a 4" line. The correct invert elevation for the 6" service line should be 1279.67. Please verify.
3. The note for the 2" domestic service line at the north side of the building calls for an 8"x 2" tee and **meter** instead of a **valve**.
4. The proposed fire hydrant located south of the southwest corner of the building is less than 20' in length and should be installed as per RWU Standard Detail WD-1/4A which will require an 8"x 6" tapping sleeve with a 6" guard valve and fire hydrant.
5. The note for the irrigation meter and RPZA is shown as 1" on the Utility Plan but as a 5/8" meter and RPZA on the detail. The detail will need to be corrected.
6. The 8" gate valve and plug on the tee of the proposed fire hydrant located near the northwest corner of the site should connect directly to the tee. The plan shows a portion of 8" DIP on the west side of the tee that is not needed.
7. The right-of-way line and existing easement(s) along the east side of South 45<sup>th</sup> Street are still not shown on the plans. These are necessary to show that the existing water main is within a public right-of-way or easement. There are three easements in that area that should apply (Bk. 2004- Pg. 38073, Bk. 2004 – Pg. 38068, and Bk. 2000 – Pg. 15667).
8. Remove the vertical bends from the water line profile. The proposed water main can pass within 6" of the storm sewer and the other utilities shown on the profile.

9. There is a storm sewer crossing missing from the Water Line 3 profile.
10. The following must be submitted prior to scheduling a pre-construction meeting:
  - A. The utility contractor must be licensed by the State of Arkansas in the Underground Piping, Cable, Trenching, Boring Specialty Class or as a Municipal Utility Contractor. A copy of the contractor's license must be submitted if the contractor has not worked recently within the Utility's service area.
  - B. One copy of the revised plans for review.
  - C. Written approval from the Arkansas Department of Health.
  - D. Fire suppression plans approved by the Utility if applicable.
  - E. Architectural and plumbing plans submitted for commercial customers.
  - F. Approved offsite easements filed for record if applicable.
  - G. A signed copy of the enclosed Special Contract for Facilities Extensions. Please note and bring to the attention of your client that access fees and impact fees are defined in the contract and must be delivered to the Utility before water service will be established.
  - H. A copy of the executed contract between the developer or general contractor and the utility contractor.
  - I. Performance and payment bonds executed by the utility contractor.
  - J. Two full-sized copies and two half-sized copies of the approved plans submitted at the pre-construction meeting.

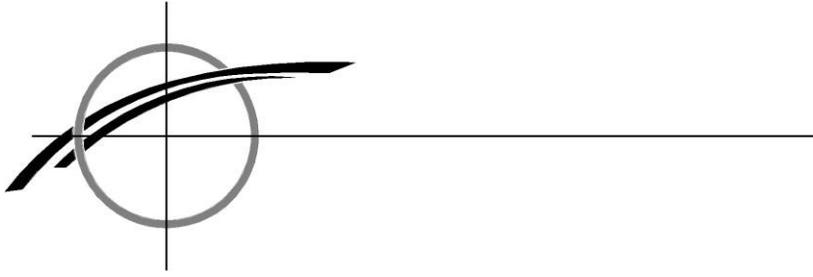
Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,

Stephen T. Ponder, PE

SP:DG

Attachment(s): Special Contract for Facilities Extension



## **SWOPE ENGINEERING**

Civil Engineering  
3511 SE J Street, Suite 9  
Bentonville, AR 72712  
479-877-7388

July 31<sup>st</sup>, 2020  
Elizabeth Johnson, City of Rogers Planner

RE: Waiver Request  
Tru Hotel

Please accept this request for a waiver of street greenspace requirements on Poplar Street and from installation of a required loading zone.

1) **Greenspace Requirements:** Requesting variance from Sect. 14-44 – Street Geometry that states minimum greenspace widths of 4.5'. Sidewalk already exists along Poplar, which meets width requirements. The only waiver item is the amount of greenspace from curb to sidewalk. Please allow a 3.11' greenspace rather than the normal 4.5' requirement due to the sidewalk already being in place.

2) **Loading Zone Installation:** Requesting variance from Sect. 14-709-I – C-2 Highway Commercial District that states 3 loading spaces are required. No large vehicles carrying shipments on crates, or requiring a dock, arrive at limited-service hotels. All shipments come in UPS trucks, and a maximum of 10-15 boxes may arrive on a single shipment. The UPS truck always parks at the drop-off area for patrons and would do this even if a loading zone were provided elsewhere. We have designed and watched 10 other hotels be constructed in this area and in Texas/Oklahoma. None of those have loading areas, and function normally without issues with the layout approval of the large hotel franchise companies (Choice, Marriott, Starwoods and IHG).

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Phil Swope". The signature is written in a cursive, flowing style.

Phil Swope, PE  
Project Engineer

# LARGE SCALE DEVELOPMENT

## TRU HOTEL 310 S. 45TH STREET ROGERS, AR (PL202000247)

### GENERAL NOTES

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 18", WHICHEVER IS LESS, CONTACT SWOPE CONSULTING AT 479-268-6099 PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. SWOPE CONSULTING, ACCEPTS NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS. CALL THE ARKANSAS STATE ONE-CALL UTILITY LOCATION CENTER (1-800-522-6543) BEFORE YOU DIG.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES AND CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT.
- ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF ROGERS AND ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY SPECIFICATIONS.
- IF APPLICABLE TO THIS PROJECT, THE LAND DISTURBANCE PERMIT MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY CITY OF ROGERS.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY AND ALL COST ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON-SITE IF THE CONTRACTOR DOES NOT ADEQUATELY HANDLE STORMWATER MANAGEMENT FACILITIES AND A PROFESSIONAL ENGINEER IS REQUIRED BY A GOVERNING AGENCY DURING THE CONSTRUCTION OF SAID FACILITIES.
- THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES, INCLUDED IN THIS PLAN. SAID OWNER IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO ENSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
- THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.
- BUILDING CONTRACTOR SHALL INSTALL ALL UTILITY SERVICE LINES, METERS, AND OTHER UTILITY APPURTENANCES NECESSARY FOR THE CONNECTION OF BUILDING UTILITIES.
- A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY EXCAVATION OR GRADING, CONTRACTOR SHALL CONTACT THE STATE ONE-CALL SYSTEM AT 811 TO LOCATE ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IN THE EVENT THAT UNDERGROUND UTILITIES ARE NOT SHOWN ON PLAN AND / OR CONFLICT WITH PROPOSED CIVIL WORKS.
- THE CONTRACTOR IS TO BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO NEIGHBORING PROPERTIES DURING CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS PRIOR TO ANY CONSTRUCTION, AND NOTIFY THE ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES THAT MAY OCCUR ON THE DRAWINGS. ALL WORK SHALL DISCONTINUE UNTIL SUCH TIME THAT THE ENGINEER OF RECORD HAS RESOLVED SAID DISCREPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF CONSTRUCTION WASTE MATERIALS INCLUDING BUT NOT LIMITED TO DEMOLITION MATERIALS, DEBRIS, CONTAMINATED SOILS / MATERIALS, ETC. IN A LAWFUL MANNER, AT STATE AND FEDERALLY ACCEPTED DISPOSAL SITES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND CONSTRUCTING IN ACCORDANCE WITH THE STRICTER OF: THESE CONSTRUCTION DOCUMENTS AND ANY ASSOCIATED DETAILS & SPECIFICATIONS; AND ALL MUNICIPALITIES / GOVERNING AGENCIES' STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.
- NO EVIDENCE IS FOUND ON-SITE OF WETLANDS OR OTHER "WATERS OF THE U.S."
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT THE PROJECT SITE. IF ANY DISCREPANCIES ARE FOUND ON PLANS OR IN THE FIELD WHICH WOULD PREVENT POSITIVE DRAINAGE, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO AVOID ADDITIONAL COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE ENGINEER OF RECORD TO INCLUDE ALL ITEMS REQUIRED BY ORDINANCE. IF AN ITEM IS NOT DISCOVERED DURING STAFF REVIEWS, IT DOES NOT EXCUSE THE ITEM, AND THE REQUIREMENT WILL REMAIN UNTIL IT IS EITHER ADDRESSED OR A WAIVER IS SUBMITTED AND APPROVED. THIS EXTENDS BEYOND THE APPROVAL OF THE PLAN SET. IF PLANS CONFLICT WITH ORDINANCE REQUIREMENTS, ORDINANCE REQUIREMENTS TAKE PRECEDENCE. IF CHANGES ARE REQUIRED, THEY MUST BE REVIEW AND APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT AT THE CITY OF ROGERS.
- STOCKPILES WITH EXCESS CONSTRUCTION SITE MATERIALS, INCLUDING BUT NOT LIMITED TO EXCESS TOP SOIL STOCKPILES, MUST BE REMOVED FROM SITE PRIOR TO PROJECT COMPLETION. GRADING BEYOND THE APPROVED LIMITS IS PROHIBITED.
- EASEMENT PLAT MUST BE APPROVED AND RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.
- ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.

### CONTACT INFORMATION:

**PROPERTY OWNER:**  
Parcel #: 02-00861-203  
NEWGEN HOTELS LLC  
W Poplar St  
Rogers, Arkansas

**DEVELOPER:**  
VIPUL PATEL  
MARUTI HOTELS  
PVA CONSTRUCTION LLC  
6030 E Skelly Dr  
Tulsa, OK 74135  
918.490.1345  
918.893.8078 OFFICE  
EMAIL: sleepmcalester@gmail.com

**CIVIL ENGINEER/SURVEYOR:**  
Phil Swope, P.E.  
Terry Ging, P.S.  
Swope Engineering  
3511 SE J Street, Suite 9  
Bentonville, Arkansas 72712  
479.685.8399 office  
479.250.4285 fax  
EMAIL: phil@civilfrst.com

**ROGERS COMMUNITY DEVELOPMENT DIRECTOR:**  
CONTACT: John McCurdy  
(479) 621-1188 OFFICE  
community.development@rogersar.gov

**CITY OF ROGERS STREET DEPT.:**  
3101 W Oak Street  
Rogers, AR 72758  
CONTACT: Frankie Guyll  
(479) 621-1140 OFFICE  
transportation@rogersar.gov

**CITY ENGINEER:**  
Planning Engineer  
301 West Chestnut  
Rogers, AR 72756  
CONTACT: Lance Jobe  
(479) 621-1186  
LJOBE@ROGERSAR.GOV

**FIRE DEPARTMENT:**  
201 N 1st Street  
Rogers, AR 72756  
CONTACT: Tom Jenkins  
(479) 621-1179 OFFICE  
tjenkins@rogersar.gov

**CITY OF ROGERS MAYOR:**  
301 West Chestnut  
Rogers, AR 72756  
CONTACT: Greg Hines  
(479) 621-1117

**WATER AND SEWER:**  
Rogers Water Utilities  
601 S 2nd Street  
Rogers, AR 72757  
CONTACT: Stephen Ponder  
(479) 621-1142 OFFICE  
stephenponder@rogersar.gov

### UTILITY INFORMATION:

**GAS COMPANY:**  
BLACK HILLS ENERGY  
ATTN: JOSH KNIGHT  
1301 FEDERAL WAY  
PO BOX 2129  
LOWELL, AR 72745  
PH: (479) 333-7005  
JOSHUA.KNIGHT@BLACKHILLSCORP.COM

**TELEPHONE COMPANY:**  
AT&T  
ATTN: SCOTT SEAMAN  
OR LAYNE RHODES  
627 WHITE ROAD  
SPRINGDALE, AR 72762  
PH: 479-442-1967 (SCOTT)  
PH: 479-442-1977 (LAYNE)  
SS7513@ATT.COM  
LR159@ATT.COM

**CENTURYTEL PHONE COMPANY:**  
2601 WALKESHA ROAD  
SILOAM SPRINGS, AR 72761  
PH: 479-524-9943  
FAX: 479-524-9936  
MICHAEL.EDWARDS@CENTURYLINK.COM

**CABLE COMPANY:**  
COX COMMUNICATIONS  
ATTN: KIP SMITH  
4901 S. 48TH STREET,  
SPRINGDALE, AR 72762,  
PH: (479) 717-3796  
KIP.SMITH@COX.COM

**ARKANSAS DOT:**  
ATTN: DOUG MEARS  
215 INDUSTRIAL PARK ROAD  
PO BOX 610  
HARRISON, AR 72602  
DOUG.MEARS@AHTD.GOV

**ARKANSAS DEPARTMENT OF HEALTH:**  
ATTN: ADAM PARKER  
DIVISION OF ENGINEERING, SLOT 37  
4815 W MARKHAM  
LITTLE ROCK, AR 72205  
661-2823 OFFICE  
ADAM.PARKER@ARKANSAS.GOV

**CARROLL ELECTRIC:**  
ATTN: RYAN BUTLER  
PO BOX 329  
BENTONVILLE, AR 72712  
PH: 479-273-2421 EXT 1415  
R.BUTLER@CARROLLECC.COM

PROPERTY INFORMATION		
Total Site Area:	76,232.40 sq. ft.	1.75 acres
Development Area:	52,627.95 sq. ft.	1.20 acres
Building Coverage Percentage:	19.4%	
ROW Dedication Area:	3750 sq. ft.	.08 acres
Zoning:	C-2, A-1	
Building Type:	Type V	
Building Area:	10,913.39 sq. ft. (1st floor)	
Building Area Total:	43,653.56 sq. ft. (4 story hotel)	
Building Height:	49'-6" TO PARAPET TOP	
Front yard setback:	65 feet	
Interior side yard setback:	15 feet	
Exterior side yard setback:	45 feet	
Rear yard setback:	15 feet	
ZONING REGULATIONS		
Open Space = (20,187.83 / 76,232.40)	26%	
Building Coverage:	19.4%	
Impervious Area Percentage:	75%	

CITY APPROVAL STAMP



### LEGAL DESCRIPTION:

PART OF THE NE 1/4 OF THE SW 1/4 OF SECTION 9, TOWNSHIP 19 NORTH, RANGE 30 WEST OF THE FIFTH PRINCIPLE MERIDIAN, CITY OF ROGERS, BENTON COUNTY, ARKANSAS, BEING A PART OF TRACT 2 LOT SPLIT FOR "FIVE-FORTY, LLC" AS FILED IN PLAT BOOK 2004 AT PAGE 099, IN THE OFFICE OF THE EXOFFICIO RECORDER, BENTON COUNTY, BENTONVILLE, ARKANSAS.

COMMENCING AT THE NW CORNER OF SAID TRACT 2 OF SAID LOT SPLIT BEING A FOUND IRON PIN WITH CAP "AR LS 1340"  
THENCE S 86°45'53" E 621.15 FEET, TO THE POINT OF BEGINNING;  
THENCE S 86°47'09" E 211.74 FEET;  
THENCE S 92°29'44" W 976.23 FEET;  
THENCE N 87°24'43" W 50.96 FEET;  
THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 151.14 FEET AND A CHORD BEARING AND DISTANCE OF N 73°40'17" W 71.80 FEET;  
THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 250.00 FEET AND A CHORD BEARING AND DISTANCE OF N 70°53'08" W 95.02 FEET;  
THENCE N 02°29'44" E 333.48 FEET, TO THE POINT OF BEGINNING, CONTAINING 76232.40 SQUARE FEET OR 1.75 ACRES MORE OR LESS. SUBJECT TO ANY RIGHTS OF WAYS OR EASEMENTS OF RECORD OR FACT.

If the project costs exceed \$20,000, a state contractor's license is required. Rogers Code Sec. 14-228(6)

PROPERTY DESCRIPTION L201923488

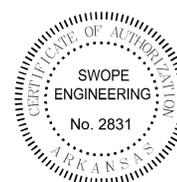
Parcel # 02-00861-203



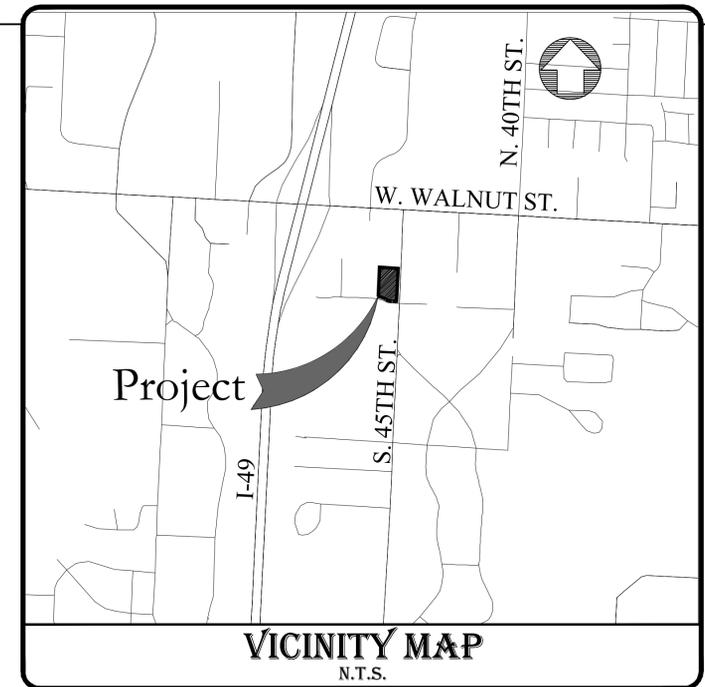
\*\*\* CAUTION \*\*\*  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



THIS DRAWING IS "PRELIMINARY - NOT FOR CONSTRUCTION" UNTIL ABOVE SEAL HOLDER ACKNOWLEDGES THE CANCELLATION OF THIS DISCLAIMER BELOW.



DATE



### CERTIFICATIONS:

REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

Sheet List Table	
Sheet Number	Sheet Title
<b>C1.0</b>	<b>Cover</b>
<b>C1.1</b>	<b>General Notes</b>
<b>C2.0</b>	<b>Site Plan</b>
<b>C2.1</b>	<b>Easement Plat</b>
<b>C3.0</b>	<b>Demolition &amp; Erosion Control</b>
<b>C3.1</b>	<b>Erosion Details</b>
<b>C4.0</b>	<b>Grading Plan</b>
<b>C5.0</b>	<b>Utility Plan</b>
<b>C5.1</b>	<b>Water Line P&amp;P</b>
<b>C5.2</b>	<b>Fire Line P&amp;P</b>
<b>C6.0</b>	<b>Landscape Plan</b>
<b>C7.0</b>	<b>Storm Plan &amp; Profile</b>
<b>C7.1</b>	<b>Storm Plan &amp; Profile</b>
<b>C10.0</b>	<b>Details</b>
<b>C10.1</b>	<b>Details</b>
<b>C10.2</b>	<b>Details</b>
<b>C10.3</b>	<b>Details</b>
<b>C10.4</b>	<b>Details</b>
<b>C10.5</b>	<b>Detention Details</b>
<b>C10.6</b>	<b>Detention Details</b>
<b>C10.7</b>	<b>City Details</b>
<b>C10.8</b>	<b>City Details</b>
<b>C10.9</b>	<b>RWU Water Details</b>
<b>C10.10</b>	<b>RWU Water Details</b>
<b>C10.11</b>	<b>RWU Sewer Details</b>



## SWOPE ENGINEERING

7 Halsted Circle  
Suite #210  
Rogers, Arkansas 72756  
479.685.8399 office  
479.250.4285 fax

Civil Engineering  
Construction Management  
Municipal Engineering  
Land Planning  
Land Surveying

DATE: 8/28/2020  
REVISED: 08/28/2020

PL202000247

C1.0

**PROPOSED FEATURES**

FEATURE LINES	
---	PROPERTY LINE
---	OFFSITE PROPERTY LINE
---	CENTERLINE OF ROAD
---	RIGHT-OF-WAY
-X-	FENCE
-X-	ACCESS EASEMENT
---	BUILDING SET BACK
---	UTILITY EASEMENT
---	CURB AND GUTTER
---	ASPHALT PAVEMENT
---	FIRELANE STRIPING
---	STORM PIPE

UTILITY LINES	
W	WATER LINE
OHE	OVERHEAD POWER LINE
SS	SEWER LINE
---	FLOW LINE
---	GAS LINE
---	FIBER OPTIC
---	TELEPHONE LINE

SYMBOLS		HATCHES	
⊗	OUTFALL STRUCTURE	▨	ASPHALT
⊙	CURB INLET	▩	SIDEWALK
⊗	AREA INLET	▨	FLOOD ZONE
⊗	JUNCTION BOX	▨	GRAVEL
⊗	GRATE INLET	▨	POND
⊗	SANITARY SEWER		
⊗	SEWER SERVICE		
⊗	FIRE HYDRANT ASSEMBLY		
⊗	WATER VALVE		
⊗	WATER SERVICE		
⊗	WATER METER		
⊗	POWER POLE		
⊗	LIGHT		
⊗	ELECTRICAL BOX		
⊗	TELEPHONE PEDESTAL		
⊗	GAS METER		

**WETLAND INFORMATION**

There are no known Wetlands on this Site.

**MISCELLANEOUS INFORMATION**

BASIS OF BEARING:  
ARKANSAS STATE PLANE, NORTH ZONE (NAD 83).

**FLOOD INFORMATION**

This property does not lie in Zone 'A/AE' (Special Flood Hazard Areas Inundated by 100-year Flood) as determined from the F.I.R.M. maps of Benton County, Arkansas, and Incorporated Areas, Map Number O5007C0260K, Effective Date June 5, 2012.

**PROJECT ENGINEER**

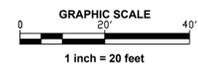
Phil Swope, P.E.  
Swope Engineering  
3511 SE J Street, Suite 9  
Bentonville, Arkansas 72712  
479.685.8399 office

**PROJECT SURVEYOR**

Terry Gling, P.S.  
Swope Engineering  
3511 SE J Street, Suite 9  
Bentonville, Arkansas 72712  
479.685.8399 office



Know what's below  
Call before you dig.



**SITE PLAN**  
**TRU HOTEL**  
LARGE SCALE DEVELOPMENT  
VIPUL PATEL  
310 S. 45TH STREET  
ROGERS, AR

**Site Information:**

PROPERTY INFORMATION		
Total Site Area:	76,232.40 sq. ft.	1.75 acres
Development Area:	52,627.95 sq. ft.	1.20 acres
Building Coverage Percentage:	19.4%	
ROW Dedication Area:	3750 sq. ft.	.08 ACRES
Zoning:	C-2, A-1	
Building Type:	Type V	
Building Area:	10,913.39 sq. ft. (1st floor)	
Building Area Total:	43,653.56 sq. ft. (4 story hotel)	
Building Height:	49'-6" TO PARAPET TOP	
Front yard setback:	65 feet	
Interior side yard setback:	15 feet	
Exterior side yard setback:	45 feet	
Rear yard setback:	15 feet	
ZONING REGULATIONS		
Open Space: = (20,187.83 / 76,232.40)	26%	
Building coverage:	19.4%	
Impervious Area Percentage:	75%	

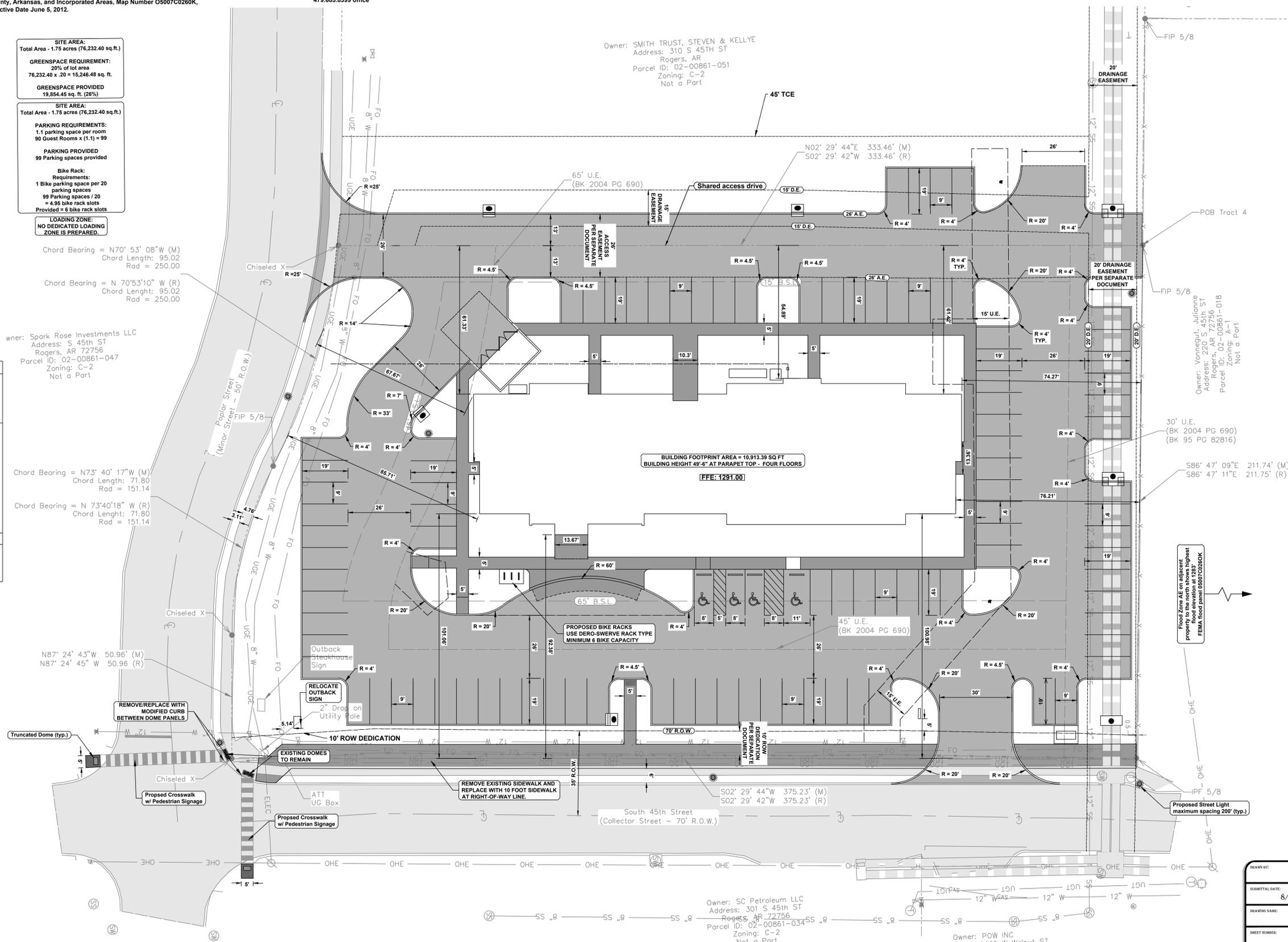
Owner: Spork Rose Investments LLC  
Address: S 45th ST  
Rogers, AR 72756  
Parcel ID: 02-00861-047  
Zoning: C-2  
Not a Part

Chord Bearing = N70° 53' 08" W (M)  
Chord Length: 95.02  
Rad = 250.00

Chord Bearing = N 70° 53' 10" W (R)  
Chord Length: 95.02  
Rad = 250.00

Chord Bearing = N73° 40' 17" W (M)  
Chord Length: 71.80  
Rad = 151.14

Chord Bearing = N 73° 40' 18" W (R)  
Chord Length: 71.80  
Rad = 151.14



Owner: SMITH TRUST, STEVEN & KELLYE  
Address: 310 S 45TH ST  
Rogers, AR  
Parcel ID: 02-00861-051  
Zoning: C-2  
Not a Part

Owner: Vonnegut, Julianne  
Address: 220 S. 45th ST  
Rogers, AR 72756  
Parcel ID: 02-00861-018  
Zoning: A-1  
Not a Part

Flood Zone AE as adjacent property to the north shows highest FEMA flood panel 05070260K

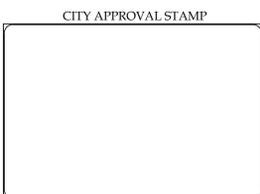
ALL HVAC AND OTHER EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.

NO FENCES ARE PLANNED IN EASEMENTS.

NO EXISTING SEPTIC SYSTEMS OR WELLS ARE PRESENT ON THIS SITE.

SEE SHEET C1.1 FOR ALL PLAN AND STANDARD NOTES

ALL CONSTRUCTION TO OCCUR IN ONE PHASE



NO.	DATE	REVISION
1	06/15/2020	REVISED PER CITY OF ROGERS
2	07/06/2020	2ND SUBMITTAL CITY COMMENTS
3	7/29/2020	3RD SUBMITTAL CITY COMMENTS
4	8/26/2020	4TH SUBMITTAL CITY COMMENTS

**SWOPE ENGINEERING**  
Civil Engineering  
Construction Management  
Municipal Engineering  
Land Surveying

7 Hickory Circle  
Suite #210  
Rogers, Arkansas 72756  
479.685.8399 office  
479.250.4285 fax

DRAWN BY:	PAUL	JOB NUMBER:	19-103
SUBMITTAL DATE:	8/28/2020	SCALE:	AS NOTED
DRAWING NAME:	19-103 - PR.DWG		
SHEET NUMBER:	C2.0		

(PL20200247)

r:\swope\19-103 rogers hotel\civil drawings\19-103 - pr.dwg - Plotted on 8/30/2020 @ a scale of 1:1 to dwg to pdf.plt by Paul



No more than 25% of trees can be ornamental. Street trees do not count when...

**SITE AREA:**  
Total Area - 1.75 acres (76,232.40 sq.ft.)

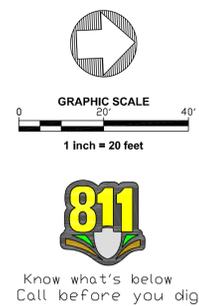
**GREENSPACE REQUIREMENT:**  
20% of lot area  
76,232.40 x .20 = 15,246.48 sq. ft.

**GREENSPACE PROVIDED:**  
26%

**PARKING REQUIREMENTS:**  
1.1 parking space per room  
90 Guest Rooms x (1.1) = 99

**PARKING PROVIDED:**  
99 Parking spaces provided

**Bike Rack:**  
Requirements:  
1 Bike parking space per 20 parking spaces  
99 Parking spaces / 20 = 4.95 bike rack slots  
Provided = 6 bike rack slots



**LANDSCAPE NOTES:**

- × DIMENSIONS ARE MEASURED FROM THE FACE OF CURB, THE FACE/CORNER OF THE BUILDING(S) OR THE CENTER OF STRIPE.
- × LANDSCAPE CONTRACTOR SHALL CONTACT ARKANSAS ONE CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING LANDSCAPE WORK.
- × GRASS AREAS SHALL BE SODDED WITH ZOYSIA GRASS OR A SUITABLE SUBSTITUTE OR HYDROSEEDED PER MANUFACTURER'S INSTRUCTIONS. WITH A MIXTURE OF 70% ZOYSIA AND 30% BLUEGRASS AT A RATE OF 204LBS/1000 S.F.
- × IF GRASSED AREA IS HYDROSEEDED, A MULCH EMULSIFIER SHALL BE ADDED (NOT CONTAINING ASPHALT) AND APPLIED PER MANUFACTURER'S INSTRUCTIONS.
- × ALL LANDSCAPE BEDS ARE TO BE MULCHED WITH EITHER TANNED HARDWOOD BARK OR REDWOOD MULCH, WITH A THICKNESS OF 3" OVER ENTIRE BED.
- × SOIL WITHIN LANDSCAPE BEDS IS TO BE AMENDED WITH EQUAL PARTS OF PERLITE (OR EQUITABLE SUBSTITUTE), PEAT MOSS AND CLEAN TOP SOIL. ALL LANDSCAPE BEDS ARE TO HAVE SOD REMOVED BEFORE INSTALLATION OF PLANT MATERIAL.
- × IRRIGATION WATER METERS HAVE BEEN PROVIDED. DEVELOPER TO CONTACT IRRIGATION CONTRACTOR TO DESIGN AND INSTALL AUTOMATIC IRRIGATION SYSTEM.
- × ALL PLANT MATERIALS SHALL MEET REQUIREMENTS ESTABLISHED BY THE AMERICAN STANDARD OF NURSERY STOCK.
- × ALL PLANT AND LANDSCAPE MATERIALS SHALL BE INSTALLED PER CITY'S LANDSCAPE MANUAL.
- × WILL PROVIDE INTERIOR PARKING GREENSPACE REQUIREMENT 8% OF IMPERVIOUS MATERIAL, AND AT LEAST 80% WILL BE LIVING MATERIAL FOR PARKING ISLANDS.
- × ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- × THERE CANNOT BE ANYTHING BETWEEN 30" AND 60" IN HEIGHT WITHIN THE SHADED AREAS.
- × ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED
- × TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR ALL TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- × LIVING MATERIALS, SUCH AS LAWN, GRASS, OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ECT., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.
- × ALL TREES PLANNED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIBER AND THE LOWEST LIMB SHALL BE 60" OR HIGHER FROM THE FINAL GRADE AT THE TIME OF PLANTING.
- × ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.
- × ANY NEW PARKING LOT LIGHTING OR LIGHTING ATTACHED TO THE STRUCTURE MUST BE A CUT-OFF OR B-U-G LIGHTING FIXTURE.
- × ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.
- × PROPOSED BENCH WILL BE A MINIMUM OF 6 FEET IN LENGTH AND BE VICTOR STANLEY "CLASSIC" (MODEL #C-10) OR APPROVED EQUAL.
- × THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIALS AS THE BUILDING.
- × WHERE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING, UTILITY LOCATIONS SHALL BE FIELD-VERIFIED.
- × ALL EVERGREEN TREES SHALL BE 8' IN HEIGHT AT THE TIME OF PLANTING.
- × PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY PLANNING COMMISSION.
- × A LETTER FROM THE OWNER/DEVELOPER IS REQUIRED THAT GUARANTEES TO MAINTAIN AND/OR REPLACE THE LANDSCAPING FOR A PERIOD OF THREE YEARS STARTING ONCE INSTALLATION IS COMPLETE.

**LANDSCAPE PLAN**  
**TRU HOTEL**  
LARGE SCALE DEVELOPMENT  
VIPUL PATEL  
310 S. 45TH STREET  
ROGERS, AR

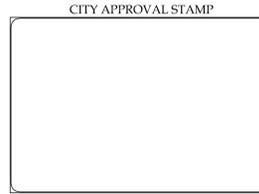
NO.	DATE	REVISION	REVISED PER CITY OF ROGERS	2ND SUBMITTAL CITY COMMENTS	3RD SUBMITTAL CITY COMMENTS	4TH SUBMITTAL CITY COMMENTS
1	06/15/2020					
2	07/08/2020					
3	7/29/2020					
4	8/26/2020					

**SWOPE ENGINEERING**  
Chief Engineer  
Construction Management  
Municipal Engineering  
Land Planning  
Land Surveying

7 Hakkal Circle  
Suite #210  
Rogers, Arkansas 72756  
479.685.8399 office  
479.250.4285 fax

**LANDSCAPE INFORMATION:**

PROPERTY INFORMATION	
Gross Site Area:	76,232.40 sf 1.75 acres
Proposed Dedicated R.O.W.:	3750 sf .08 acres
Net Site Area:	52,627.95 sf 1.2 acres
Zoning:	C-2, A-1
PARKING LANDSCAPE REQUIREMENTS	
Req'd:	56 (per option 2 & 3)
Provided:	71 Plants
STREET LANDSCAPE REQUIREMENTS	
Req'd: 50' Spacing For 50' Tall Trees	510 Linear Ft Frontage 11 Trees
Provided:	12 Trees



(PL202000247)

DRAWN BY:	PAUL	JOB NUMBER:	19-103
SUBMITTAL DATE:	09/01/2020	SCALE:	AS NOTED
DRAWING NAME:	19-103 - PR.DWG		
SHEET NUMBER:	<b>C6.0</b>		

**LANDSCAPE LEGEND:**

Symbol	Qty	Botanical	Common	Size	Shade, Ornamental	Planting Height
<b>STREET TREES:</b>						
	12	Persian Parrotia	Persian Ironwood	2.5" caliper	Shade	6 feet
	3	Cercis Canadensis var. Texensis 'Oklahoma'	Redbud	2.5" caliper	Ornamental	6 feet
	6	Pistacia chinensis	Keith Davey chinese pistache	2.5" Caliper	shade	8 ft
	9	Cedrus Atlantica	Blue Atlas Cedar	2.5" caliper	Evergreen Tree	8 feet
<b>SHRUBS:</b>						
	53	Buxus s "Green Mountain"	Boxwood		Shrub	5 GALLON MINIMUM
<b>GRASS:</b>						
		Seeded/Sodded Grasses				19,005 sf

r:\swope\19-103 rogers hotel\civil drawings\19-103 - pr.dwg - Plotted on 9/1/2020 11:34:28 AM @ a scale of 1:1 to bluebeam pdfpc3 by Paul